

RECORDED IN OFFICIAL RECORDS OF COLLIER COUNTY, FL  
12/05/97 at 04:14PM DEWEY B. BRICK, CLERK

REC FEE	10.50
COPIES	2.00
RESC	1.00

Re: **ROBERT F. BOGHR**  
**58 VINEYARDS BLVD**  
**PARLOR FL 34119**

**CERTIFICATE OF AMENDMENT  
 TO THE DECLARATION OF CONDOMINIUM  
 FOR  
 LALIQUE, A CONDOMINIUM  
 SUBMITTING PHASES I, III and XI**

THIS AMENDMENT made this 5<sup>th</sup> day December, 1997, by LALIQUE DEVELOPERS, INC., a Florida corporation (the "Developer").

WHEREAS, the Developer has recorded a Declaration of Condominium for Lalique, a Condominium, in Official Records Book 2524, Pages 2790 et seq., of the Public Records of Collier County, Florida; and

WHEREAS, said Declaration reserves the right of the Developer to make amendments to the Declaration of Condominium to comply with Section 718.104(4)(c), Florida Statutes which Developer now desires to do; and

WHEREAS, Developer now desires to submit Phases I, III and XI to Lalique, a Condominium.

NOW THEREFORE, the Developer pursuant to the aforesaid rights, hereby amends the Declaration of Condominium for Lalique, a Condominium, as follows:

- A. Article 1 is amended by adding the following to the end of the second paragraph:
- The Land also includes Tracts 1, 3 and 11 (Phases I, III and XI), Lalique, located in Collier County, Florida, and more particularly described in Exhibit "A," Pages 2627, 2629 and 2637 attached to the Declaration of Condominium.
- B. The first sentence of the second paragraph of Article 2 is amended and restated to read as follows:
- Lalique, a Condominium, contains forty residential units in five buildings and consists of Phases I, III, XI and XII of a proposed fourteen-phase development having a maximum of 104 units.
- C. Article 5 is amended to read as follows:
- 5.1 Survey and Plot Plans. [Add after first paragraph] A plot plan showing the entire proposed project and the Phases I, III and XI units and the buildings in which the units are located, including their identification numbers and locations is attached to this Amendment to the Declaration of Condominium as Exhibit "B."
- [Add after second paragraph] Phases I, III and XI consist of 8 units each numbered 101, 102, 103, 104, 105, 106, 107 and 108 located in Building I, units 301, 302, 303, 304, 305, 306, 307 and 308 located in Building III and units 1101, 1102, 1103, 1104, 1105, 1106, 1107 and 1108 located in Building XI.
- D. Article 6 is amended and restated to read as follows:
- 6.1 Shares of Ownership. 40 Units - 1/40th share
- E. Article 23 is amended to read as follows:
23. DEVELOPMENT AND PHASING PLAN: [Revise and restate the first sentence as follows] Lalique, a condominium, contains forty units in five buildings and presently contains the first five phases of a proposed fourteen-phase development having a maximum of 104 residential units.

Best Image Available

IN WITNESS WHEREOF, the Developer has caused the foregoing Amendment to the Declaration of Condominium to be executed by its undersigned duly authorized officer on the date set forth above.

Signed sealed and delivered in the presence of:

Linda H. Fowell  
Witness

LINDA H. FOWELL  
Printed Name of Witness

Deborah Farris  
Witness

Deborah Farris  
Printed Name of Witness

LALIQUE DEVELOPERS, INC., a Florida corporation

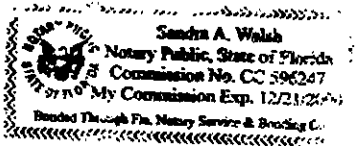
By: Michel Saadeh  
Michel Saadeh, President

Address:  
98 Vineyards Boulevard  
Naples, Florida 34119

STATE OF FLORIDA  
COUNTY OF COLLIER

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MICHEL SAADEH, (one of the following should be checked; if none are checked, he is personally known to me) X who is personally known to me, or has produced N/A as identification, and who did take an oath, and who is known to be the President of LALIQUE DEVELOPERS, INC., a Florida corporation, the corporation named in the foregoing instrument and that he acknowledged executing the same, in the presence of two subscribing witnesses, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the State and County last aforesaid this 5<sup>th</sup> day of December, 1997.



Sandra A. Walsh  
NOTARY PUBLIC

This instrument prepared by:  
Robert F. Rogers, Esquire  
98 Vineyards Boulevard  
Naples, Florida 34119  
(941) 353-1973

P:\DATA\USERS\ROBERT\DEVELOP\LALIQUE\CERTIFIC.3

\*\*\* OR: 2369 PG: 0081 \*\*\*

RECORDED in OFFICIAL RECORDS of COLLIER COUNTY, FL  
02/19/98 at 09:34AM DWIGHT B. BRICK, CLERK

HRC FEE 70.00

Data:  
PFD TITLE & ABSTRACT  
98 VINEYARDS BLVD  
NAPLES FL 34119

**CERTIFICATE OF AMENDMENT  
TO THE DECLARATION OF CONDOMINIUM  
FOR  
LALQUE, A CONDOMINIUM  
SUBMITTING PHASES 4 AND 10 AND  
CERTIFICATE OF SUBSTANTIAL COMPLETION**

THIS AMENDMENT made this 9th day FEBRUARY, 1998, by LALQUE DEVELOPERS, INC., a Florida corporation (the "Developer").

WHEREAS, the Developer has recorded a Declaration of Condominium for Lalque, a Condominium, in Official Records Book 2324, Page 2760 et seq., of the Public Records of Collier County, Florida; and

WHEREAS, said Declaration reserves the right of the Developer to make amendments to the Declaration of Condominium to comply with Section 718.104(4)(e), Florida Statutes which Developer now desires to do; and

WHEREAS, Developer now desires to submit Phases 4 and 10 to Lalque, a Condominium and submit the Certificate of Substantial Completion for Phases 1 and 12.

NOW THEREFORE, the Developer pursuant to the aforesaid rights, hereby amends the Declaration of Condominium for Lalque, a Condominium, as follows:

- A. Article 1 is amended by adding the following to the end of the first paragraph:

The Land also includes Tracts 4 and 10 (Phases 4 and 10), Lalque, located in Collier County, Florida, and more particularly described in Exhibit "A," Pages 2330 and 2856 attached to the Declaration of Condominium.

- B. The first sentence of the second paragraph of Article 2 is amended and recited to read as follows:

Lalque, a Condominium, contains seven (7) buildings of eight (8) residential units each, and consists of Phases 1, 2, 3, 4, 10, 11 and 12 of a proposed fourteen (14) phase development having a maximum of one hundred and four (104) units.

- C. Article 5 is amended to read as follows:

Best Image Available

5.1 Survey and Plot Plans. [Add after first paragraph] A plot plan showing the entire proposed project and the Phases 4 and 10 units and the buildings in which the units are located, including their identification numbers and locations is attached to this Declaration of Condominium as Exhibit "B."

[Delete second paragraph and add the following] Phases 4 and 10 consist of 8 units each numbered 401, 402, 403, 404, 405, 406, 407 and 408 located in Building 4, and units 1001, 1002, 1003, 1004, 1005, 1006, 1007 and 1008 located in Building 10.

D. Article 6 is amended and restated to read as follows:

6.1 Shares of Ownership. 56 Units - 1/56th share

E. Article 23 is amended to read as follows:

23. DEVELOPMENT AND PHASING PLAN: [Revise and restate the first sentence as follows] Lalique, a condominium, contains seven (7) buildings of eight (8) units each and constitutes the first seven phases of a proposed fourteen (14) phase development having a maximum of fourteen (14) buildings and one hundred four (104) residential units.

F. The following attached Certificates of Substantial Completion are hereby added to the Declaration:

Phase 1 - Building 1  
Phase 12 - Building 12

IN WITNESS WHEREOF, the Developer has caused the foregoing Amendment to the Declaration of Condominium to be executed by its undersigned duly authorized officer on the date set forth above.

Signed sealed and delivered in the presence of:

[Signature]  
Witness  
Robert Myers  
Printed Name of Witness  
[Signature]  
Witness  
LINDA H. FOWELL  
Printed Name of Witness

LALIQUE DEVELOPERS, INC.,  
a Florida corporation

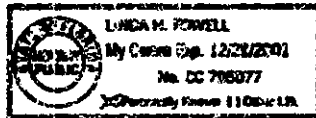
By: [Signature]  
Michel Saadeh, President

Address:  
98 Vineyards Boulevard  
Naples, Florida 34119

STATE OF FLORIDA  
COUNTY OF COLLIER

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MICHEL SAADEH, (one of the following should be checked; if none are checked, he is personally known to me)  X  who is personally known to me, or has produced  N/A  as identification, and who did take an oath, and who is known to be the President of LAJQUE DEVELOPERS, INC., a Florida corporation, the corporation named in the foregoing instrument and that he acknowledged executing the same, in the presence of two subscribing witnesses, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the State and County last aforesaid this  9<sup>TH</sup>   
day of  FEBRUARY , 199  8 .



*Linda M. Powell*  
NOTARY PUBLIC

This instrument prepared by:  
Robert F. Rogers, Esq./to  
29 Vineyard Boulevard  
Naples, Florida 34110  
(941) 388-1273

PG:01A:BERINGOCERTDEVLOPLAJQUECENTAND.WFD

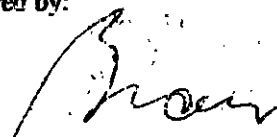
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

**CERTIFICATE OF SURVEYOR made this 20th day of January, 1998.**

This certificate is made as to Building "1" of Liqueur, A Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (c), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the buildings, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

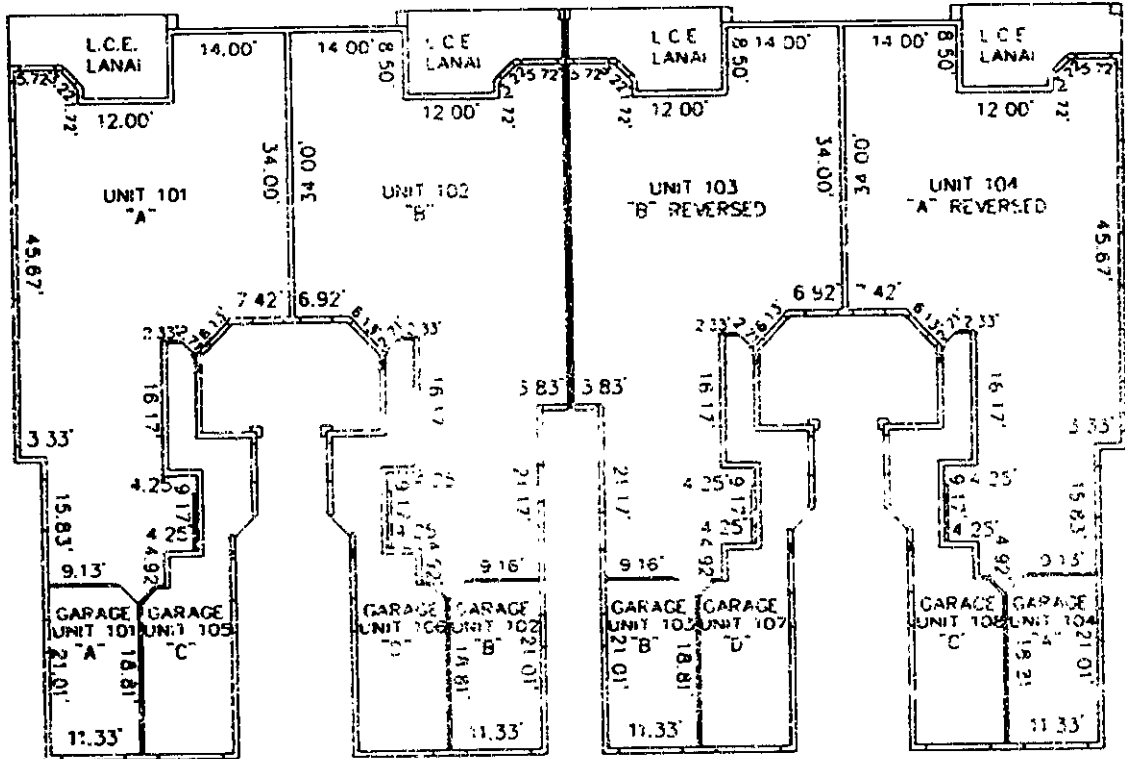
Prepared by:

  
\_\_\_\_\_  
William C. McAnly, P.S.M.  
Florida Registration No. 1543



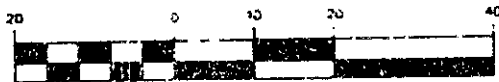
ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS. INTERIOR UNIT LAYOUT, SETBACKS AND AREAS PROVIDED BY MRS. DEEG ARCHITECTS

# LALIQUE, A CONDOMINIUM



TYPICAL UNIT BOUNDARY  
BUILDINGS 13,4,5,6,7,8,9,10,11,12

### GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.

### GENERAL NOTES

- 1. L.C.E. DENOTES LIMITED COMMON ELEMENTS
- 2. C.E. DENOTES COMMON ELEMENTS
- 3. ALL DIMENSIONS ARE PROPOSED UNLESS OTHERWISE INDICATED

## EXHIBIT "B"

DESCRIPTION:  
**LALIQUE, A CONDOMINIUM**  
**TYPICAL UNIT BOUNDARY**  
**GROUND FLOOR**  
**BUILDINGS 13,4,5,6,7,8,9,10,11,12**

**MCANLY ENGINEERING AND DESIGN INC.**  
ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE  
 5107 TAMPAH PALM TOWER SUITE 200  
 GAINESVILLE, FLORIDA 32602  
 (352) 335-9722 FAX (352) 335-9238

#	REVISIONS	DATE
1	REV. 34.00 DIMENSION TO 4.50	11/26/98
2	REV. FOOTPRINT DIMENSIONS	4/30/97
3	SUBSTANTIAL COMPL. BLDGS 1 & 12	7/70/98

SCALE: 1"=20' DRAWN: J.A.C. CHECKED: M.C.M. DATE: 3/15/98

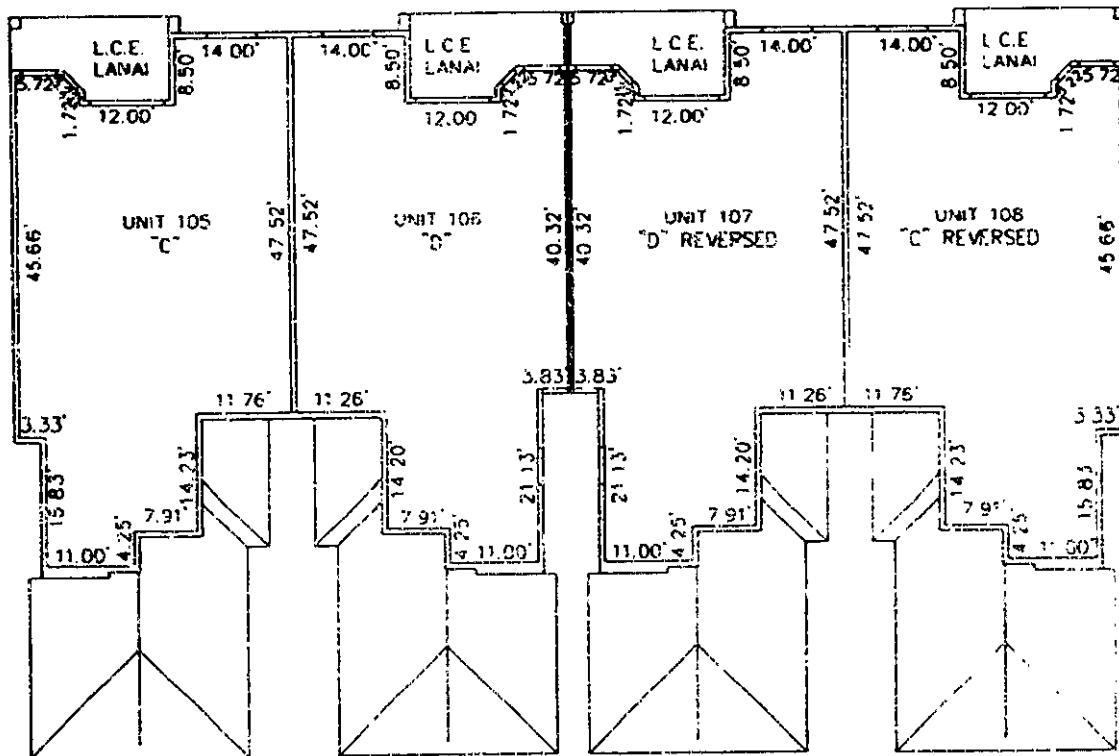
COPYRIGHT 1998 BY MCANLY ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED. DWG. FILE YEAR SHEET OF

OR: 2387 PG: 2515



ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS. INTERIOR GROSS LAYOUT DIMENSIONS AND AREAS PROVIDED BY HIRE DEAC ARCHITECTS.

# LALIQUE, A CONDOMINIUM



TYPICAL UNIT BOUNDARY  
BUILDINGS 13,4,5,6,7,8,9,10,11,12

## GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.

## GENERAL NOTES

1. L.C.E. DENOTES LIMITED COMMON ELEMENTS
2. C.E. DENOTES COMMON ELEMENTS
3. ALL IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE INDICATED

## EXHIBIT "B"

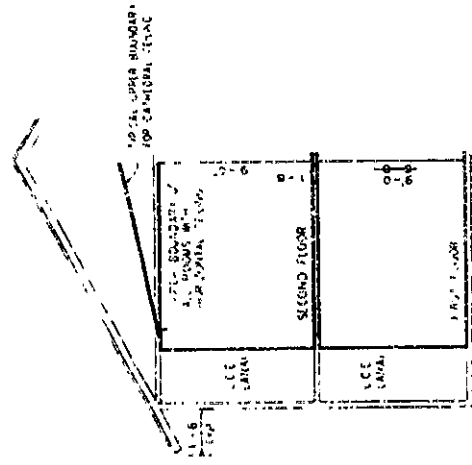
DESCRIPTION: <b>LALIQUE, A CONDOMINIUM</b> <b>TYPICAL UNIT BOUNDARY</b> <b>SECOND FLOOR</b> <b>BUILDINGS 13,4,5,6,7,8,9,10,11,12</b>	<b>McANLY ENGINEERING</b> <b>AND DESIGN INC.</b> ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE 5101 TAMMAM TRAIL (EAST), SUITE 202 NAPLES, FLORIDA 33962 (813) 775-0725 FAX (813) 775-9236	#	REVISIONS	DATE
		5	SUBSTANTIAL COMPLETION BLDGS 1 & 12	1/20/98
SCALE: 1"=20' DWN: J.A.P. CHK: M.C.M. DATE: 9/26/97	COPYRIGHT, 1997 BY McANLY ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED.	DWG. FILE	2/1P	SHEET OF

OR: 2387 PG: 2516

# LALIQUE, A CONDOMINIUM TYPICAL UNIT BOUNDARIES

## GENERAL NOTES

- 1. C.C. denotes Limited Common Elements
- 2. J denotes Common Elements
- 3. Boundaries for each unit shall include that part of the boundaries that lies within the following boundaries:
  - A. Upper and Lower Boundaries: The upper and lower boundaries of the unit shall be the vertical boundaries extended to their planar intersection with the perimeter boundaries.
  - (1) Upper Boundaries: In all units located on the floors below the top floor of a building the upper boundary shall be the horizontal plane of the unfinished lower surface of the ceiling in the units located on the top floor, the upper boundary shall follow the contour of the interior unfinished surface of the structure attached to the underside of the roof structure.
  - (2) Lower Boundaries: The horizontal plane of the unfinished upper surface of the concrete floor of the unit.
  - B. Perimeter Boundaries: The perimeter boundaries of the unit shall be the vertical planes of the interior surfaces of the walls, including the walls extended to their planar intersection with each other and with the upper and lower boundaries.
  - C. Interior Walls: No part of the interior walls, interior partition walls within an apartment unit, or the exterior part of the boundary of a unit.
  - D. Apertures: Where there are apertures, by boundary being but not limited to, windows, doors, fire or perimeter boundaries shall extend to the interior unfinished surfaces of such apertures and their trimwork thereat. Exterior surfaces, such as glass or other transparent material and all trimwork, screens and hardware interior, shall be excluded from the unit.



TYPICAL SECTION  
NOT TO SCALE



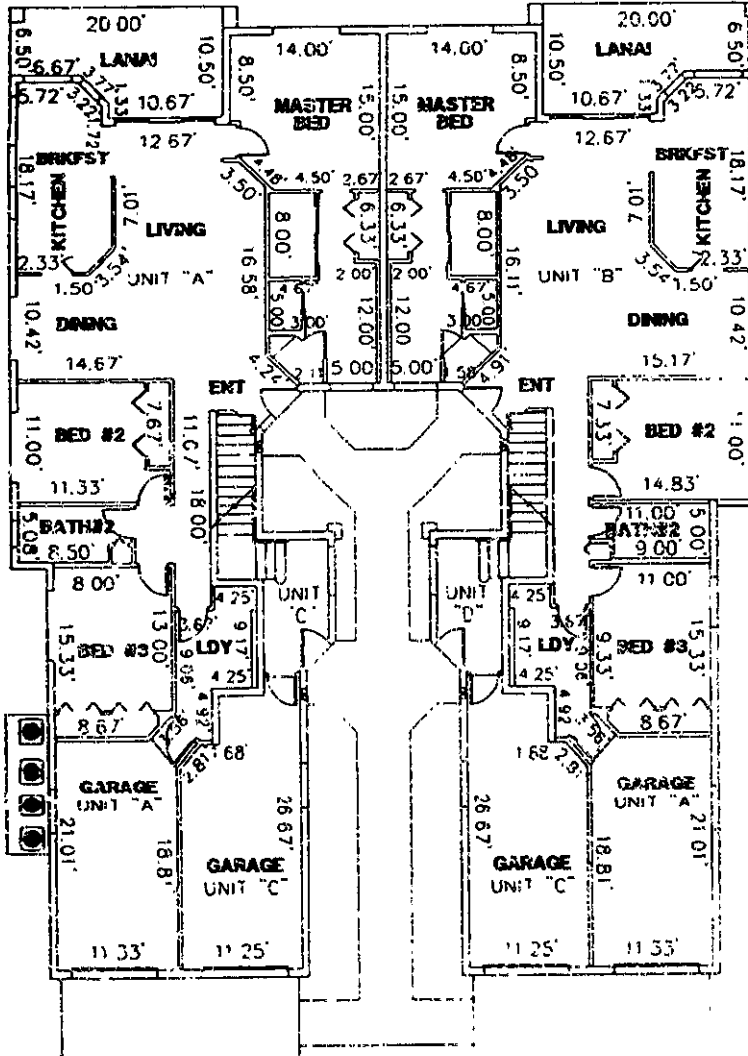
EXHIBIT "B"

DESIGN BY	JAN 8	REVISIONS	DATE
CHECKED BY	WCM	1 SUBSTANTIAL COMPLETION BLDG	2/8/97
DATE	05/20/96	2 REV. CEILING HEIGHT FIRST FLOOR	7/2/97
SCALE	AS NOTED	3 SUBSTANTIAL COMPLETION BLDG'S 1 & 2	1/20/98
PROJECT NO.	840273		
DWG FILE	LO/LOTUBUILDING		

**MCANLY ENGINEERING AND DESIGN INC.**  
 ENGINEERING PLANNING LAND SURVEYING AND LANDSCAPE ARCHITECTURE  
 9101 TAMPA BAY EAST, SUITE 202  
 TAMPA, FLORIDA 33618  
 (813) 778-0755 FAX (813) 778-3134

**LALIQUE, A CONDOMINIUM  
TYPICAL UNIT BOUNDARIES  
BUILDING SECTION**

LALIQUE, A CONDOMINIUM



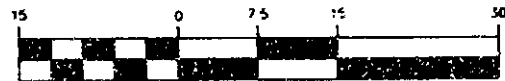
ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS. INTERIOR FINISH LAYOUT, DIMENSIONS AND AREAS PROVIDED BY MIRE, PREG ARCHITECTS

- GENERAL NOTES**
1. L.C.E. DENOTES LIMITED COMMON ELEMENTS
  2. C.E. DENOTES COMMON ELEMENTS
  3. ALL IMPROVEMENTS ARE TO APPLIED UNLESS OTHERWISE INDICATED

- LEGEND**
- ENT: ENTRANCE
  - LDY: LANDING
  - BED: BEDROOM
  - BKFAST: BREAKFAST

TYPICAL UNIT FLOOR PLAN  
GROUND FLOOR  
UNIT "A" AND "B"  
BUILDINGS 1,3,4,5,6,7,8,9,10,11,12

GRAPHIC SCALE



( IN FEET )

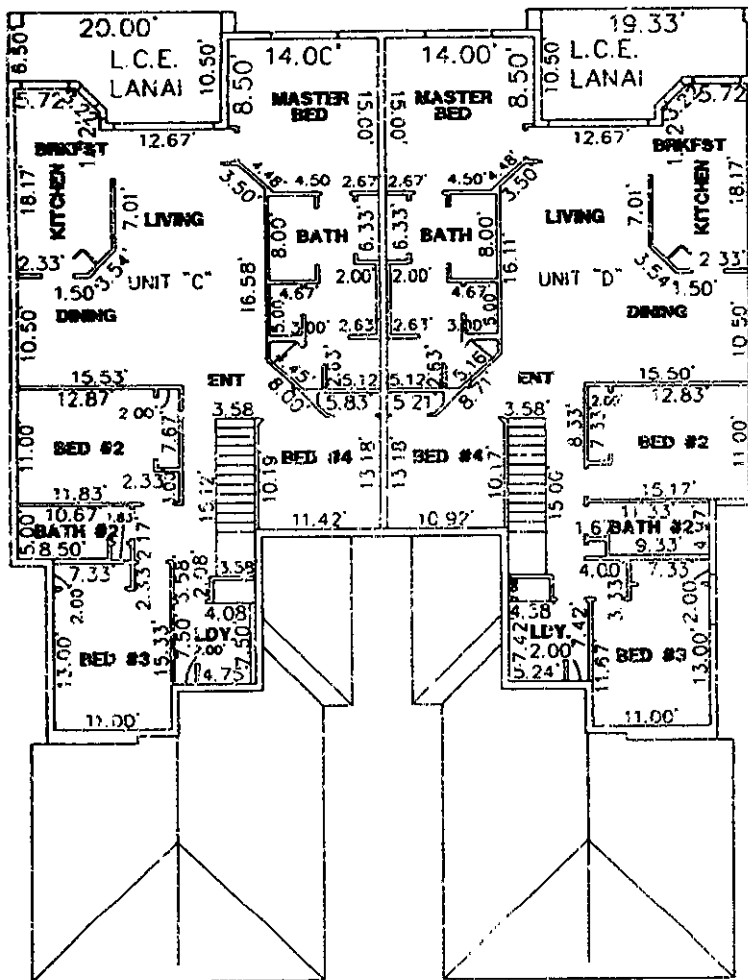
1 inch = 15 ft.

EXHIBIT "B"

DESCRIPTION: <b>LALIQUE, A CONDOMINIUM</b> <b>TYPICAL UNIT FLOOR PLAN</b> <b>GROUND FLOOR</b> <b>BUILDINGS 1,3,4,5,6,7,8,9,10,11,12</b>	<b>McANLY ENGINEERING</b> <b>AND DESIGN INC.</b> ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE 5101 LANANA SPUR, EAST SUITE 200 NAPLES, FLORIDA 33962 (813) 775-2772 FAX (813) 775-9236	REVISION # 1 REV. 34.00 DIMENSION IS 8.50' 11/28/96	DATE 11/28/96
		# 2 REV. ADD DIMENSIONS TO ROOMS 11/30/97	11/30/97
SCALE: 1"=15' DRAWN: J.A.C. CHECKED: M.C.M. DATE: 11/19/96	COPYRIGHT 1996 BY McANLY ENGINEERING AND DESIGN INC. ALL RIGHTS RESERVED. DMC FILE L010/LFLOOR 2 SHEET OF	# 5 SUBSTANTIAL COMPL. BLDG'S J & L 1/20/98	1/20/98

ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO SURVEY, CONSTRUCTION VARIATIONS, MATERIALS AND LAUREL, DIMENSIONS AND AREAS PROVIDED BY HINE, TEBB ARCHITECTS.

# LALIQUE, A CONDOMINIUM



### LEGEND

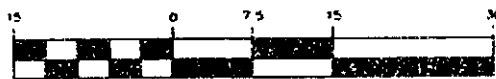
ENT ENTRY  
 LDY LAUNDRY  
 BED BEDROOM  
 BRKST BREAKFAST

### GENERAL NOTES

1. L.C.E. DENOTES LIMITED COMMON ELEMENTS
2. C.E. DENOTES COMMON ELEMENTS
3. ALL IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE INDICATED

**TYPICAL UNIT FLOOR PLAN  
 SECOND FLOOR  
 UNIT "C" AND "D"  
 BUILDINGS 1,3,4,5,6,7,8,9,10,11,12**

### GRAPHIC SCALE



( IN FEET )

1 inch = 15 ft.

## EXHIBIT "B"

DESCRIPTION:  
**LALIQUE, A CONDOMINIUM**  
**TYPICAL UNIT FLOOR PLAN**  
**SECOND FLOOR**  
**BUILDINGS 1,3,4,5,6,7,8,9,10,11,12**

**McANLY ENGINEERING**  
**AND DESIGN INC.**  
 ENGINEERING, PLANNING, LAND SURVEYING  
 AND LANDSCAPE ARCHITECTURE  
 5101 TALLAHASSEE EAST, SUITE 202  
 NAPLES, FLORIDA 33962  
 (813) 775-0723 FAX (813) 775-0238



#	REVISIONS	DATE
5	SUBSTANTIAL COMPL. BLDGS. 1 & 12	7/20/94

SCALE: 1"=20' DWG: J.A.K. CHW: W.C.M. DATE: 9/10/97

COPYRIGHT, 1997 BY McANLY ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED. DWG FILE: 102FL00R SHEET OF

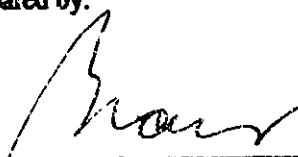
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

**CERTIFICATE OF SURVEYOR made this 20th day of January, 1998.**

**This certificate is made as to Building "12" of Laliq, A Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.**

**I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the buildings, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.**

**Prepared by:**



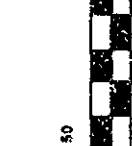
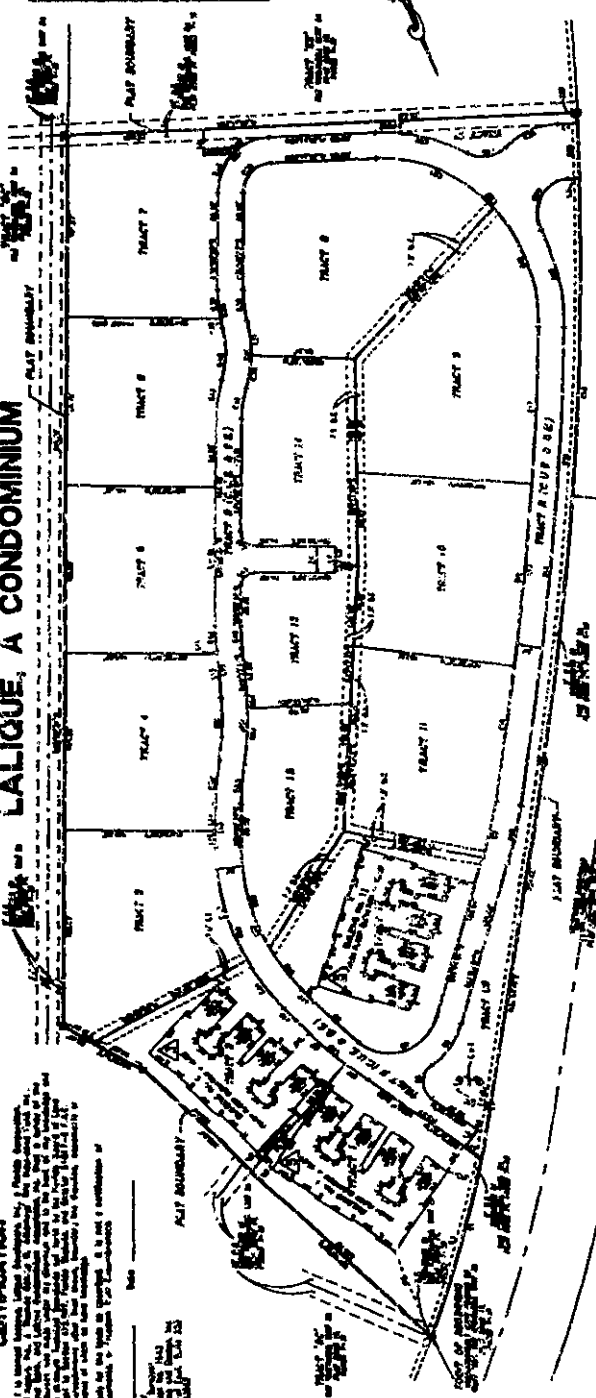
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**William C. McAnly, P.S.M.  
Florida Registration No. 1543**

LALIQUE, A CONDOMINIUM

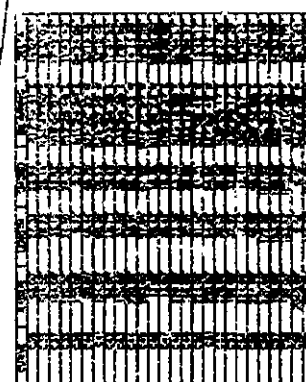
CERTIFICATION
I, the undersigned, being a duly licensed Professional Engineer in the State of Florida, do hereby certify that the foregoing is a true and correct copy of the original as recorded in the Public Records of Collier County, Florida, and that the same conform to the provisions of the Condominium Act, Chapter 718, Florida Statutes.

DATE: 08/30/96
SCALE: 1" = 180'



LEGEND
D1 PROPERTY MARKING ELEMENT
D2 MEASURE DISTANCE ELEMENT
EVE PROPERTY CORNER WITH EASEMENT
S PROPERTY CORNER WITH EASEMENT
PDS PROPERTY MONUMENT OF BOUNDARY
SIP MONUMENT WITH IDENTIFICATION
E BOUNDARY (TYPICAL) - EASEMENT

LEGAL DESCRIPTION
A PORTION OF TRACT 15, AS SHOWN ON THE MAPS OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, MORE PARTICULARLY AS SHOWN AT FOLLOWS...



NOTE: LOCATION OF MONUMENTS AND EASEMENTS OTHER THAN THOSE SHOWN ON THIS PLAT SHALL BE AS SHOWN ON THE MAPS OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

Table with columns: DRAWN BY: J.A.H., CHECKED BY: W.C.M., DATE: 08/30/96, SCALE: 1" = 180', PROJECT NO.: 96085, SHEET: 1 OF 1.

McANILY ENGINEERING AND DESIGN INC. AND LANDSCAPE ARCHITECTS. 8161 TAMPAW TRAIL, EAST, SUITE 303, NAPLES, FLORIDA 34109. (813) 441-7718.

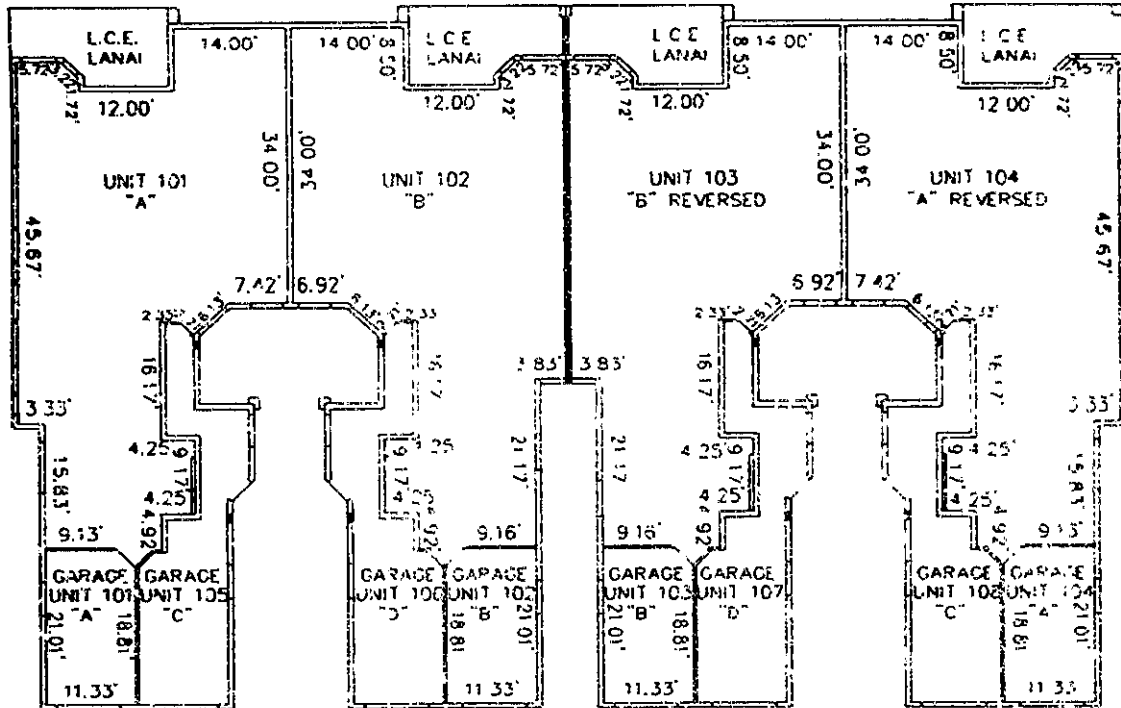
FOR: LALIQUE DEVELOPERS, INC. DESCRIPTION: LALIQUE, A CONDOMINIUM BOUNDARY SURVEY. TITLE: LALIQUE, A CONDOMINIUM BOUNDARY SURVEY.

EXHIBIT "B"

DR: 2397 PG: 2521

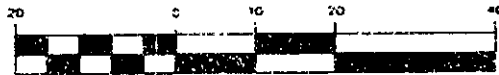
ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATION. REVERSED UNIT LABELS, DIMENSIONS AND AREAS PROVIDED BY THE ARCHITECTS

LALIQUE, A CONDOMINIUM



TYPICAL UNIT BOUNDARY  
BUILDINGS 1,3,4,5,6,7,8,9,10,11,12

GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.

GENERAL NOTES

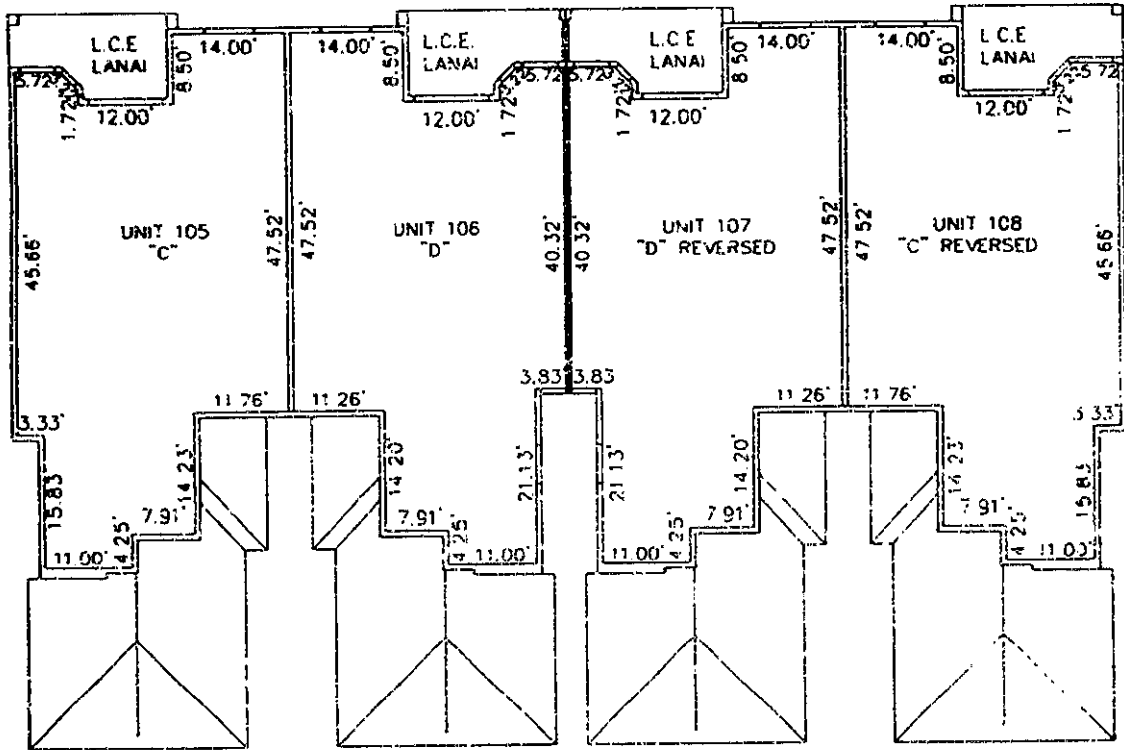
- 1. L.C.E. DENOTES LIMITED COMMON ELEMENTS
- 2. C.E. DENOTES COMMON ELEMENTS
- 3. ALL IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE INDICATED

EXHIBIT "B"

DESCRIPTION: <b>LALIQUE, A CONDOMINIUM</b> <b>TYPICAL UNIT BOUNDARY</b> <b>GROUND FLOOR</b> <b>BUILDINGS 1,3,4,5,6,7,8,9,10,11,12</b>	<b>McANLY ENGINEERING</b> <b>AND DESIGN INC.</b> ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE 3101 TAMMAM TRAIL, EAST SUITE 200 NAPLES, FLORIDA 33962 (813) 775-2773 FAX (813) 775-9238		# REVISIONS DATE
			1. REV. 34.00' DIMENSION TO 3.50' 11/25/96 2. REV. FOOTPRINT DIMENSIONS 4/30/97 3. SUBSTANTIAL CORN. BLDG'S 1 & 12 1/20/98
SCALE: 1"=20' DWG. J.A.C. CHK. W.F.H. DATE 3/29/96	COPYRIGHT, 1996 BY McANLY ENGINEERING AND DESIGN, INC. ALL RIGHTS RESERVED. DWG FILE: 11P SHEET 07		

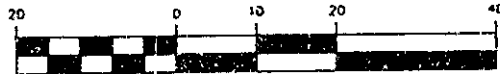
ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS. UNIT LAYOUT, DIMENSIONS AND AREAS PROVIDED BY MRE EREC ARCHITECTS

# LALIQUE, A CONDOMINIUM



TYPICAL UNIT BOUNDARY  
BUILDINGS 1,3,4,5,6,7,8,9,10,11,12

### GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft

### GENERAL NOTES

- 1 L.C.E. DENOTES LIMITED COMMON ELEMENTS
- 2 C.E. DENOTES COMMON ELEMENTS
- 3 ALL IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE INDICATED

## EXHIBIT "B"

DESCRIPTION:  
**LALIQUE, A CONDOMINIUM**  
**TYPICAL UNIT BOUNDARY**  
**SECOND FLOOR**  
**BUILDINGS 1,3,4,5,6,7,8,9,10,11,12**

**McANLY ENGINEERING AND DESIGN INC.**  
ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE  
5101 TAMM TRAIL EAST, SUITE 202  
NAPLES, FLORIDA 33962  
(813) 775-0723 FAX (813) 775-9236

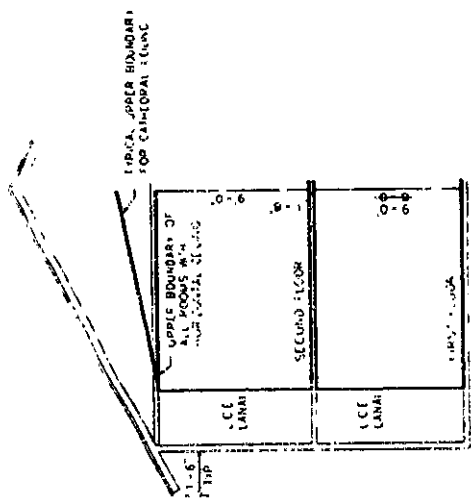
#	REVISIONS	DATE
5	SUBSTANTIAL COMPLETION BLOCKS	3/12/2008



# LALIQUE, A CONDOMINIUM TYPICAL UNIT BOUNDARIES

## GENERAL NOTES

- 1. [Symbol] denotes Limited Common Elements
- 2. [Symbol] denotes Common Elements
- 3. Unit Boundaries. Each unit shall include that part of the buildings that lies within the following boundaries:
  - A. Upper and Lower Boundaries. The interior and outer boundaries of the unit shall be the horizontal planes and vertical surfaces extended to their planar intersection with the geometrical boundaries.
  - (1) Upper Boundaries. In all units located on the floors below the top floor of a building, the upper boundary shall be the horizontal plane of the finished lower surface of the ceiling. In all units located on the top floor, the upper boundary shall follow the top surface of the interior unfinished surface of the drywall attached to the underside of the roof trusses.
  - (2) Lower Boundaries. The horizontal plane of the unfinished upper surface of the concrete floor of the unit.
  - B. Geometrical Boundaries. The geometrical boundaries of the unit shall be the vertical planes of the finished interior surfaces of the walls, including the unit extended to their planar intersections with each other and with the upper and lower boundaries.
  - C. Interior Walls. No part of the interior structure or interior partition walls within an apartment shall be considered part of the boundary of the unit.
  - D. Apertures. Where there are apertures in any boundary including, but not limited to windows and doors, the geometrical boundaries shall extend to the interior unfinished surfaces of such apertures, and their frameworks thereof. Exterior surfaces made of glass or other transparent material and all framings, casings and hardware therefor, shall be excluded from the unit.



A TYPICAL SECTION  
NOT TO SCALE



DATE	REVISIONS	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2/16/97	3												
2/16/97	4												
2/16/97	5												

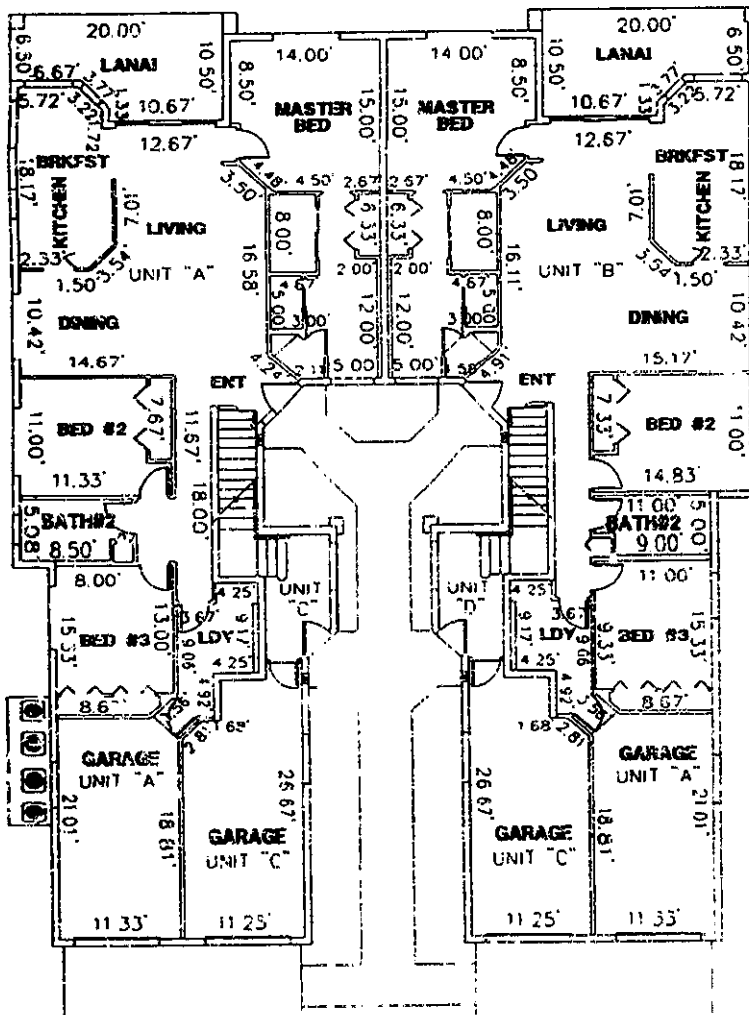
**MCANLY ENGINEERING AND DESIGN INC.**  
 ENGINEERING, ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, AND LANDSCAPE ARCHITECTURE  
 210 TAMPAH TRAIL EAST, SUITE 201  
 MAPLES, FLORIDA 33607  
 (813) 715-0323

**LALIQUE, A CONDOMINIUM  
TYPICAL UNIT BOUNDARIES  
BUILDING SECTION**

DESCRIPTION: [Blank]  
 SHEET: [Blank]

LALIQUE, A CONDOMINIUM

CONDOMINIUM PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_



ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS IN FIELD UNIT LAYOUT. DIMENSIONS AND AREAS PROVIDED BY WIFE ERIC ARCHITECTS

GENERAL NOTES

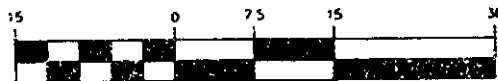
1. SEE DRAWING'S LIMITED COMMON ELEMENTS
2. SEE DRAWING'S COMMON ELEMENTS
3. ALL IMPROVEMENTS ARE RESPONDED UNLESS OTHERWISE INDICATED

LEGEND

- ENT ENTRY
- LDY LANDING
- BED BEDROOM
- BRKFST BREAKFAST

TYPICAL UNIT FLOOR PLAN  
GROUND FLOOR  
UNIT "A" AND "B"  
BUILDINGS 1,3,4,5,6,7,8,9,10,11,12

GRAPHIC SCALE



( IN FEET )

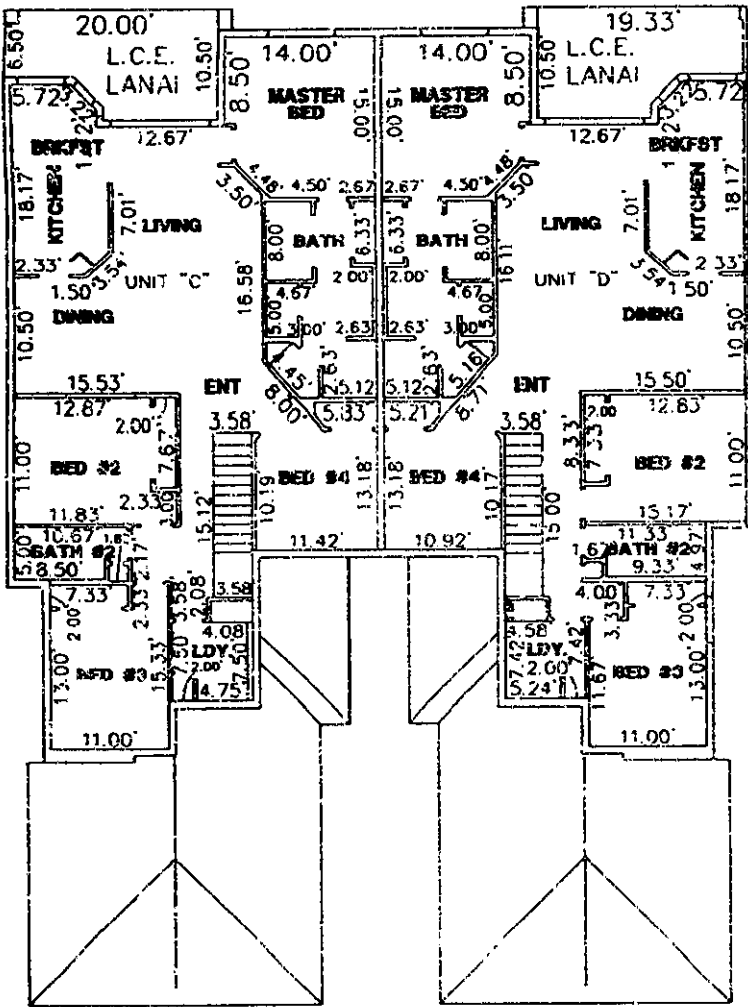
1 inch = 15 ft.

EXHIBIT "B"

DESCRIPTION: <b>LALIQUE, A CONDOMINIUM</b>  <b>TYPICAL UNIT FLOOR PLAN</b> <b>GROUND FLOOR</b> <b>BUILDINGS 1,3,4,5,6,7,8,9,10,11,12</b>	<b>McANLY ENGINEERING</b> <b>AND DESIGN INC.</b> ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE 2101 TAMMAM LANE (EAST) SUITE 202 NAPLES, FLORIDA 33962 (813) 775-0773 FAX (813) 775-9236			# REVISIONS DATE
	SCALE: 1"=15' DWG: J.A.C. DWG: W.C.B. DATE: 3/19/96	COPYRIGHT 1996 BY McANLY ENGINEERING AND DESIGN INC. ALL RIGHTS RESERVED. DWG FILE: L01LOFFLOOR		1. REV. 3'4"00" DIMENSION TO B 5'0" 11/28/96 2. ADD DIMENSIONS TO ROOMS 12/30/97 3. REV. FOOTPRINT DIMENSIONS 1/30/98 4. SUBSTANTIAL CORRECT. BLDG'S 1 & 12 7/20/98

ALL DIMENSIONS AND AREAS ARE APPROXIMATE AND ARE SUBJECT TO NORMAL CONSTRUCTION VARIATIONS. INTERIOR GAIT LAYOUT, DIMENSIONS AND AREAS PROVIDED BY MR. ERIC PROCHETZ.

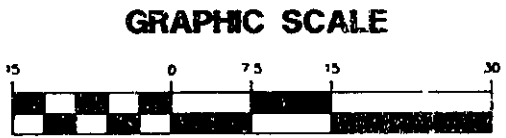
LALIQUE, A CONDOMINIUM



**LEGEND**  
 ENT. ENTRY  
 LDY. LINEN CLOSET  
 BATH BATHROOM  
 BRKFST BREAKFAST

**GENERAL NOTES**  
 1 L.C.E. REMOTES LIMITED COMMON ELEMENTS  
 2 L.C.E. DENOTES COMMON ELEMENTS  
 3 ALL IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE INDICATED

TYPICAL UNIT FLOOR PLAN  
 SECOND FLOOR  
 UNIT "C" AND "D"  
 BUILDINGS 1,3,4,5,6,7,8,9,10,11,12



( IN FEET )  
 1 inch = 15 ft.

EXHIBIT "B"

DESCRIPTION:  
**LALIQUE, A CONDOMINIUM**  
**TYPICAL UNIT FLOOR PLAN**  
**SECOND FLOOR**  
**BUILDINGS 1,3,4,5,6,7,8,9,10,11,12**

**McANLY ENGINEERING AND DESIGN INC.**  
 ENGINEERING, PLANNING, LAND SURVEYING AND LANDSCAPE ARCHITECTURE  
 5101 TAMMAM TERRACE EAST, SUITE 202  
 NAPLES, FLORIDA 34102  
 PH: 1-775-8723 FAX (813) 775-2738

#	REVISIONS	DATE
5	SUBSTANTIAL COMPL. BLDG'S 1 & 12	7/20/98

Re: **ROBERT F BACHS**  
96 VINEYARDS BLVD  
NAPIER FL 34119

**CERTIFICATE OF AMENDMENT  
TO THE DECLARATION OF CONDOMINIUM  
FOR  
LALIQUE, A CONDOMINIUM  
SUBMITTING PHASES 5, 9 AND 13  
CERTIFICATES OF SUBSTANTIAL COMPLETION**

THIS AMENDMENT is made this 22<sup>nd</sup> day Sept, 1998, by LALIQUE DEVELOPERS, INC., a Florida corporation (the "Developer").

WHEREAS, the Developer has recorded a Declaration of Condominium for Lalique, a Condominium, in Official Records Book 2324, Page 2790 et seq., of the Public Records of Collier County, Florida; and

WHEREAS, said Declaration reserves the right of the Developer to make amendments to the Declaration of Condominium to comply with Section 718.104(4)(e), Florida Statutes which Developer now desires to do; and

WHEREAS, Developer now desires to submit Phases 5, 9 and 13 to Lalique, a Condominium and submit the Certificates of Substantial Completion for Phases 3, 4, 10 and 11.

NOW, THEREFORE, the Developer pursuant to the aforesaid rights, hereby amends the Declaration of Condominium for Lalique, a Condominium, as follows:

- A. Article 1 is amended by adding the following to the end of the first paragraph:
- The Land also includes Tracts 5, 9 and 13 (Phases 5, 9 and 13), Lalique, located in Collier County, Florida, and more particularly described in Exhibit "A," Pages 2830, 2835 and 2839 attached to the Declaration of Condominium.
- B. The first sentence of the second paragraph of Article 2 is amended and restated to read as follows:
- Lalique, a Condominium, contains nine (9) buildings of eight (8) residential units each, and consists of Phases 1, 2, 3, 4, 5, 9, 10, 11 and 12, one (1) building of four (4) residential units consisting of Phase 13 of a proposed fourteen (14) phase development having a maximum of one hundred and four (104) units.
- C. Article 5 is amended to read as follows:

Best Image Available

5.1 Survey and Plot Plans. [Add after first paragraph] A plot plan showing the entire proposed project and the Phases 5, 9 and 13 units and the buildings in which the units are located, including their identification numbers and locations is attached to this Declaration of Condominium as Exhibit "B."

[Add after last paragraph.] Phases 5, 9 and 13 consist of 8 units each numbered 501, 502, 503, 504, 505, 506, 507 and 508 located in Building 5 and units 901, 902, 903, 904, 905, 906, 907 and 908 located in Building 9. Phase thirteen (13) consists of (four) 4 units numbered 1301, 1302, 1303 and 1304 located in Building (13).

D. Article 6 is amended and restated to read as follows:

6.1 Shares of Ownership. 76 Units - 1/76th share

E. Article 23 is amended to read as follows:

23. DEVELOPMENT AND PHASING PLAN: [Revise and restate the first sentence as follows] Lalique, a condominium, contains nine (9) buildings of eight (8) units each and one (1) building with four (4) units and constitutes the first ten phases of a proposed fourteen (14) phase development having a maximum of fourteen (14) buildings and one hundred four (104) residential units.

F. The following attached Certificates of Substantial Completion are hereby added to the Declaration:

Phase 3 - Building 3    Phase 4 - Building 4  
Phase 10 - Building 10    Phase 11 - Building 11

IN WITNESS WHEREOF, the Developer has caused the foregoing Amendment to the Declaration of Condominium to be executed by its undersigned duly authorized officer on this date set forth above.

Signed sealed and delivered in the presence of:

Linda S. Lewis  
Witness

LINDA S. LEWIS  
Printed Name of Witness

Deborah Ferris  
Witness

Deborah Ferris  
Printed Name of Witness

LALIQUE DEVELOPERS, INC.,  
a Florida corporation

By: Michel Sadeh  
Michel Sadeh, President

Address:  
96 Viraynski Boulevard  
Naples, Florida 34119

STATE OF FLORIDA  
COUNTY OF COLLIER

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MICHEL SAADEM, (one of the following should be checked; if none are checked, he is personally known to me) X who is personally known to me, or has produced N/A as identification, and who did take an oath, and who is known to be the President of LAIQUE DEVELOPERS, INC., a Florida corporation, the corporation named in the foregoing instrument and that he acknowledged executing the same, in the presence of two subscribing witnesses, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the State and County last aforesaid this 22  
day of Sept, 1998.



ROBERT ROGERS  
My Commission 00041104  
Expires Mar. 16, 2000

[Signature]  
NOTARY PUBLIC

This instrument prepared by:  
Robert F. Rogers, Esquire  
88 Vineyards Boulevard  
Naples, Florida 34110  
(941) 363-1873

LAIQUE DEVELOPERS, INC.

**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

**CERTIFICATE OF SURVEYOR** made this 1 st day of April, 1998

The certificate is made as to Building "3" of Laliq, a Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:

  
\_\_\_\_\_  
William C. McAnly, P.S.M.  
Florida Registration No. 1543




**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

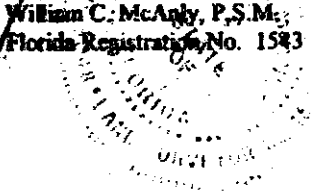
**CERTIFICATE OF SURVEYOR** made this 29th day of May, 1998

The certificate is made as to Building "4" of Laliq, a Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (c), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:

  
\_\_\_\_\_  
William C. McAnly, P.S.M.  
Florida Registration No. 1583





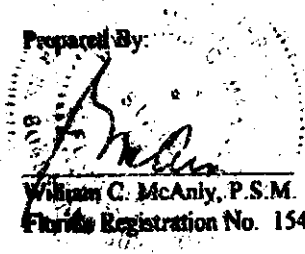
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

**CERTIFICATE OF SURVEYOR made this 29th day of May, 1998**

The certificate is made as to Building "10" of Laliqne, a Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



*William C. McAnly*  
William C. McAnly, P.S.M.  
Florida Registration No. 1543


**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

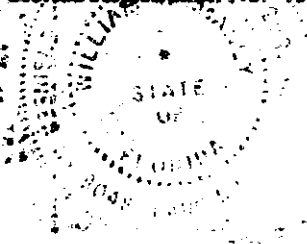
CERTIFICATE OF SURVEYOR made this 1 st day of April, 1998

The certificate is made as to Building "11" of Laliq, a Condominium, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAuley, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvement, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:

  
William C. McAuley, P.S.M.  
Florida Registration No. 1543



RECORDED in OFFICIAL RECORDS of COLLIER COUNTY, FL  
10/24/2000 at 03:49PM DWIGHT H. BROCK, CLERK

RBC FEE 42.00  
COPIES 9.00  
MISC 1.00

Retn:  
ROBERT F ROGERS  
98 VINEYARDS BLVD  
NAPLES FL 34119

**CERTIFICATE OF AMENDMENT  
TO THE DECLARATION OF CONDOMINIUM  
FOR  
LALIQUE, A CONDOMINIUM  
SUBMITTING CERTIFICATES OF SUBSTANTIAL COMPLETION**

THIS AMENDMENT made this 20 day October, 2000, by Lalique DEVELOPERS, INC., a Florida corporation (the "Developer").

WHEREAS, the Developer has recorded a Declaration of Condominium for Lalique, a Condominium, in Official Records Book 2324, Page 2775 et seq., of the Public Records of Collier County, Florida; and

WHEREAS, said Declaration reserves the right of the Developer to make amendments to the Declaration of Condominium to comply with Section 718.104, Florida Statutes which Developer now desires to do; and

WHEREAS, Developer now desires to submit Certificates of Substantial Completion for Phases 5, 6, 7, 8, 9, 13 and 14.

NOW, THEREFORE, the Developer, pursuant to the aforesaid rights, hereby amends the Declaration of Condominium for Lalique, a Condominium, as follows:

The following attached Certificates of Substantial Completion are hereby added to the Declaration:

Phase 5 - Building 5, Phase 6 - Building 6, Phase 7 - Building 7, Phase 8 - Building 8,  
Phase 9 - Building 9, Phase 13 - Building 13, Phase 14 - Building 14.

IN WITNESS WHEREOF, the Developer has caused the foregoing Amendment to the Declaration of Condominium to be executed by its undersigned duly authorized officer on the date set forth above.

Signed sealed and delivered in the presence of:

Claudia Tyzka  
Witness

CLAUDIA TYZKA  
Printed Name of Witness

Deborah Farris  
Witness

DEBORAH FARRIS  
Printed Name of Witness

Lalique DEVELOPERS, INC.,  
a Florida corporation

By: Michel Saadeh  
Michel Saadeh, President

Address:  
98 Vineyards Boulevard  
Naples, Florida 34119

STATE OF FLORIDA  
COUNTY OF COLLIER

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared MICHEL SAADEH, (one of the following should be checked; if none are checked, he is personally known to me)  X  who is personally known to me, or has produced  N/A  as identification, and who did take an oath, and who is known to be the President of LALIQUE DEVELOPERS, INC., a Florida corporation, the corporation named in the foregoing instrument and that he acknowledged executing the same, in the presence of two subscribing witnesses, freely and voluntarily under authority duly vested in him by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the State and County last aforesaid this  20   
day of  Oct. , 2000.



Robert Rogers  
MY COMMISSION # CC912116 EXPIRES  
March 19, 2004  
BONDED THRU TROY FAIR INSURANCE, INC.

*[Handwritten Signature]*  
\_\_\_\_\_  
NOTARY PUBLIC

This instrument prepared by:  
Robert F. Rogers, Esquire  
98 Vineyards Boulevard  
Naples, Florida 34119  
(941) 353-1973

P \USERS\ROBERT\DEVELOP\LALIQUE\CERTIFIC 4


**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 22nd day of September, 1998.

The certificate is made as to **Building "5" of Laliq, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, **William C. McAnly**, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



**William C. McAnly, P.S.M.**  
**Florida Registration No. 1543**

**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

**CERTIFICATE OF SURVEYOR** made this 7th day of August, 2000.

The certificate is made as to **Building "6"** of **Lalique, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, **William C. McAnly**, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



**William C. McAnly, P.S.M.**  
**Florida Registration No. 1543**

**McAnly Engineering and Design, Inc.**  
**5435 Park Central Court**  
**Naples, Florida 34109**

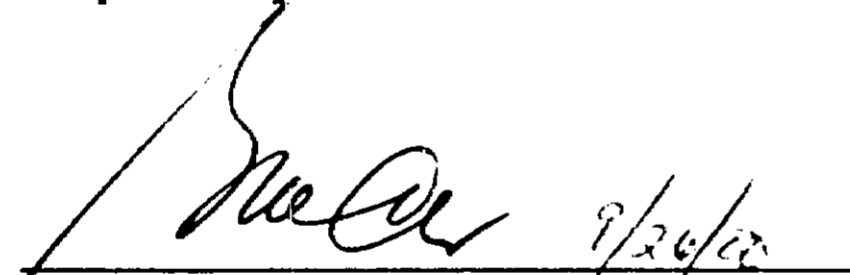
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 8th day of September, 2000.

The certificate is made as to **Building "7" of Laliq, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



William C. McAnly, P.S.M.  
Florida Registration No. 1543

McAnly Engineering and Design, Inc.  
5435 Park Central Court  
Naples, Florida 34109

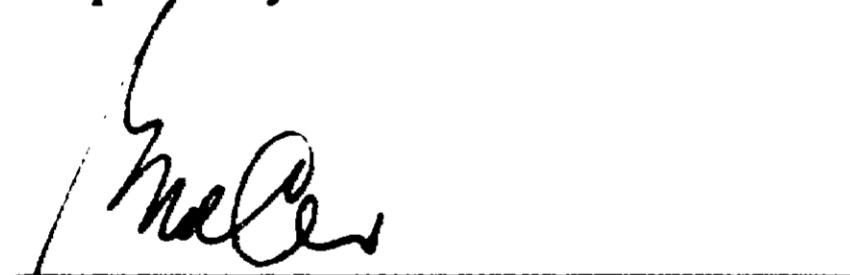
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 7th day of August, 2000.

The certificate is made as to **Building "8" of Laliq, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



William C. McAnly, P.S.M.  
Florida Registration No. 1543

McAnly Engineering and Design, Inc.  
5435 Park Central Court  
Naples, Florida 34109



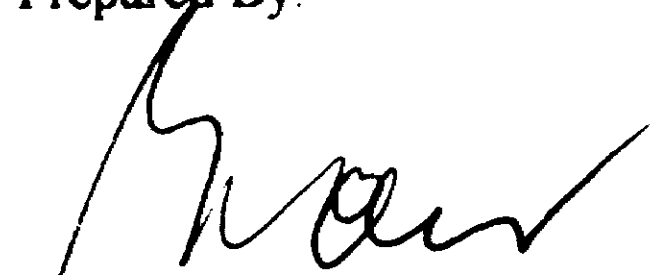
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 22nd day of October, 1998.

The certificate is made as to **Building "9"** of **Lalique, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



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William C. McAnly, P.S.M.  
Florida Registration No. 1543

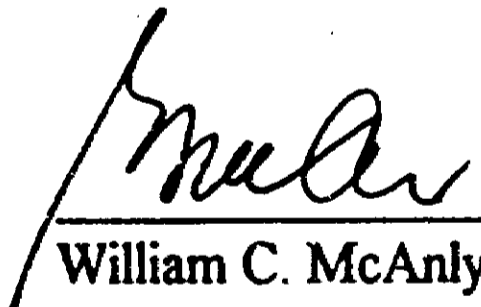
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 18th day of October, 2000.

The certificate is made as to **Building "13"** of **Lalique, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:

  
\_\_\_\_\_  
William C. McAnly, P.S.M.  
Florida Registration No. 1543

McAnly Engineering and Design, Inc.  
5435 Park Central Court  
Naples, Florida 34109

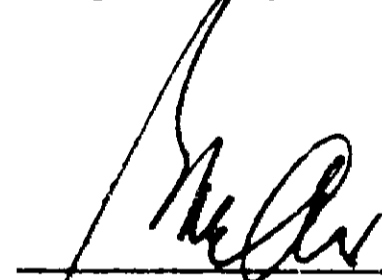
**SURVEYORS CERTIFICATE OF SUBSTANTIAL COMPLETION**

CERTIFICATE OF SURVEYOR made this 25th day of September, 2000.

The certificate is made as to **Building "14"** of **Lalique, a Condominium**, located in Collier County, Florida, pursuant to Section 718.104 (4) (e), Florida Statutes.

I, William C. McAnly, a Land Surveyor authorized to practice in the State of Florida, hereby certify that the construction of the above referenced building, and all planned improvements, including but not limited to the landscaping, utility services, access to the units and common element facilities serving the building, have been substantially completed, so that the material attached to the Declaration of Condominium as Exhibit "B", together with the provisions of the Declaration describing the condominium property, is an accurate representation of the location and dimensions of the improvements, and that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

Prepared By:



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William C. McAnly, P.S.M.  
Florida Registration No. 1543

McAnly Engineering and Design, Inc.  
5435 Park Central Court  
Naples, Florida 34109

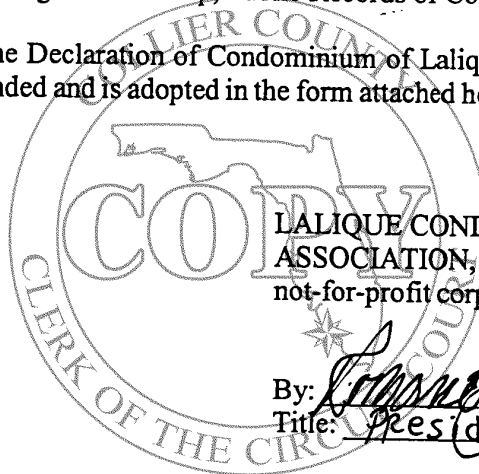
After Recordation, Return to:

Robert W. McClure, P.A.  
3511 Bonita Bay Blvd.  
Bonita Springs, Florida 34134  
Telephone: 239/948-9740

**CERTIFICATE OF AMENDMENT**

THE UNDERSIGNED, being the duly and acting ✓ President of Lalique Condominium Association, Inc., a Florida corporation not-for-profit, hereby certifies that at a meeting of the members held on March 15, 2012, where a quorum was present, after due notice, at which the resolution set forth below was approved by the affirmative vote of at least fifty-one percent (51%) of the voting interests, who were present and voting, in person or by proxy, at the meeting for the purpose of amending the Declaration of Condominium of Lalique. a Condominium, as originally recorded at O.R. Book 2324, Page 2791 et seq., Public Records of Collier County, Florida.

RESOLVED: That the Declaration of Condominium of Lalique, a Condominium, be and is hereby amended and is adopted in the form attached hereto and made a part hereof.



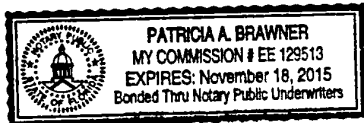
LALIQUE CONDOMINIUM  
ASSOCIATION, INC., a Florida  
not-for-profit corporation

By: *Romano J. Micciche*  
Title: President

STATE OF FLORIDA  
COUNTY OF COLLIER

The foregoing instrument was acknowledge before me this 23<sup>rd</sup> day of March, 2012 by Romano J. Micciche, \_\_\_\_\_ President of Lalique Condominium Association, Inc, on behalf of the corporation. He/She is (  ) personally known to me or (  ) has produced \_\_\_\_\_ as identification.

*Patricia A. Bawner*  
Signature of Notary Public



After Recordation, Return to:  
Robert W. McClure, P.A.  
3511 Bonita Bay Blvd., Suite 3  
Bonita Springs, Florida 34134

**AMENDMENT TO DECLARATION OF CONDOMINIUM  
OF  
LALIQUE, A CONDOMINIUM**

THIS AMENDMENT TO THE DECLARATION OF CONDOMINIUM OF LALIQUE, CONDOMINIUM is made by the Lalique Condominium Association, Inc., a Florida corporation not-for-profit (hereinafter referred to as the "Association").

WITNESSETH:

WHEREAS, Lalique Condominium Association, Inc., on behalf of Lalique, a Condominium, a residential subdivision, executed a Declaration of condominium, recorded on June 23, 1997 and recorded in Official Record Book 2324, Page 2791, of the Public Records of Collier County, Florida, as was subsequently amended from time to time thereafter ("collectively, Declaration");

WHEREAS, the Association wishes to further amend the Declaration in accordance to the terms and conditions set forth below and pursuant to Article 22 of the Declaration.

NOW, THEREFORE, the Association hereby amends the Bylaws as follows [all deletions to the existing text are ~~overstricken~~ and all additions to the existing text are in ***bold and italics***]:

1. Subsection 12.6 is hereby amended to read:

12.6 Pets. ~~The owner of each Unit may keep one (1) or two (2) small pets, of a normal-domesticated household type, such as a cat or a dog in the Unit. The pet(s) must be carried under the Owner's arm or be leashed at all times while on the Condominium property outside of the Unit. The ability to keep such pet(s) is a privilege, not a right, and the Board of Directors are empowered to order and enforce the removal of any pet(s) which does not comply with this Paragraph or which becomes a source of annoyance to other residences of the Condominium.~~ ***Pets shall be subject to the Rules and Regulations of the Association as adopted by the Board of Directors from time to time.*** No pets of any kind are permitted in leased Units. No reptiles, rodents, amphibians, poultry or livestock may be kept in the Condominium. The Association may restrict the walking of pets in certain areas. Owners who walk their pets must clean up after their pets. Pets may not be left unattended or leashed on lanais, entries, Common Elements or in garages.

2. Subsection 12.9 is hereby amended to read:

12.9 ~~Commercial Vehicles. No truck, commercial truck, van, or other commercial vehicle, except serve vehicles temporarily present on business, and no boat, boat trailer or other trailer of any kind, camper, mobile home, disable vehicle, motor home or~~

~~recreational vehicle shall be parked or stored on the condominium property.~~ *No vehicles except conventional automobiles, SUVs and other vehicles deemed appropriate by Board of Directors shall be parked on the driveway of a Unit. All other vehicles including, without limitation, trucks, pick-up trucks, commercial vehicles (except service vehicles temporarily on business), motorcycles, boats, trailers, campers, mobile homes, disabled vehicles, motor homes, or recreational vehicles, shall not be parked anywhere on the condominium property except in a garage. No vehicles shall be permitted to be parked in such manner as to encroach into the neighboring Unit Owner's driveway, lot or road or otherwise become a hazard or nuisance. Any questions or interpretations regarding this provision shall be determined by the Board of Directors in its sole and reasonable discretion.*

3. All other terms and conditions of the Declaration not amended hereby shall remain in full force and effect.

IN WITNESS WHEREOF, the undersigned, has hereto set his hand and seal this 23 day of March, 2011.

LALIQUE CONDOMINIUM  
ASSOCIATION, INC.,  
a Florida not-for-profit corporation  
By: [Signature]  
Title: President

